

# *City of Brisbane*

## *Planning Commission Agenda Report*

**TO:** Planning Commission For the Meeting of 5/14/2015

**FROM:** Julia Capasso, Associate Planner, via John Swiecki, Community Development Director

**SUBJECT:** 119 San Benito Road; Variance V-1-15 and Grading Permit EX-1-15 to allow construction of a new single-family home with a maximum height of 30 feet, where 28 feet is the maximum height permitted; and to allow 157 cubic yards of site grading including the removal of 98 cubic yards of soil from the site; Quincy Bragg, applicant; Quincy Bragg & Sarah FitzGerald, owners; APN 007-392-020

**REQUEST:** The applicant proposes to demolish an existing 640 sq ft single-family home and build a new 2,115 sq ft home on a 2,983 sq ft lot at 119 San Benito Road. The through-lot's frontage on San Benito Road is designated as the front lot line and the Visitacion Avenue frontage is designated the rear lot line. The site has an existing slope of 18%. Vehicular access to the site would be from Visitacion Avenue, with two covered spaces provided in a garage occupying the lower level of the home and two uncovered spaces accommodated in the driveway partially within the Visitacion Avenue public right-of-way.

In order to implement the project as designed, the following approvals are requested:

- A Variance to allow the new home a maximum height of 30 feet; and
- A Grading Permit to allow 157 cubic yards (cy) of site grading to accommodate the new structure, including export of 98 cy of soil from the site.

It should be noted that this project is currently undergoing building permit review, which has been put on hold until this planning application has been acted upon. As such, the plans before the Commission have been reviewed in detail by the Building Department and Public Works Department. The City Engineer has determined that the submitted grading plans satisfy the requirements for Grading Permit review.

**RECOMMENDATION:** Conditionally approve Variance V-1-15 & recommend that the City Engineer issue Grading Permit EX-1-15, via adoption of Resolution V-1-15/EX-1-15 with Exhibit A containing the conditions and findings of approval.

**ENVIRONMENTAL DETERMINATION:** Construction of new single-family homes is categorically exempt from the provisions of the California Environmental Quality Act per Section 15303(a) of the CEQA Guidelines. The exceptions to this categorical exemption referenced in Section 15300.2 do not apply.

**APPLICABLE CODE SECTIONS:** The height limit for structures in the R-1 zoning district on lots with less than 20% slope is 28 feet, per BMC §17.06.040. Building height is defined in BMC §17.02.400 and the findings required to grant a Variance to the height limit are contained in BMC §17.46.10. Grading permit review by the Planning Commission is required for projects involving more than 50 cy of soil export by BMC §15.01.081.A and BMC §17.32.220.

**ANALYSIS AND FINDINGS:**

**Height Variance:** The building height limit for the subject property with an 18% slope is 28 feet per BMC 17.06.040. As designed, the north wing of the new home, containing the two-car garage plus two levels of living space above, would measure 30 feet in height from the lowest point of grade, at the driveway entrance to the garage, to the midpoint of the gable roof. All other sections of the building would comply with the 28 foot height limit.

In order to grant the requested variance to the building height limit, the Planning Commission must find that, because of special circumstances applicable to the property, such as its size, shape, topography, location, or surroundings, the strict application of the zoning ordinance would deprive the property of privileges enjoyed by other properties in the vicinity and same zoning district. Approval of a variance must also be subject to such conditions as necessary to ensure that the variance will not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and same zoning district. The application **would meet** these findings.

- Special Circumstances Applicable to Subject Property:

The subject property is trapezoidal in shape, with the west lot line approximately 65 ft in length and the east lot line approximately 82 ft in length, and features a northeast cross-slope downward from San Benito Road to Visitacion Avenue. Per BMC §17.02.730, the slope of a lot is calculated as a percentage of the vertical distance between the midpoints of the front and rear lot lines to the horizontal distance between the midpoints of the front and rear lot lines.

The subject property is unique in that the midpoint of the rear lot line (Visitacion Avenue frontage) is approximately four feet higher in elevation than the surrounding grade to the north, while the surrounding grade to the west slopes more uniformly over a shorter distance between the front and rear lot lines. These two features result a lesser slope calculation when measured per the Municipal Code requirements, while the slope of the immediately surrounding topography ranges between 20-23%. This is demonstrated by the topographic map and site sections on sheets A12 and A14 of the applicant's plans (enclosed). As a result of these unique topographic features, the northeast wing of the new home would reach a maximum height of 30 feet when measured from the adjacent grade of the driveway entrance to the garage, while all other segments of the home would comply with the 28 foot height limit.

Additionally, strict application of the building height limit would make it difficult for the property to comply with covered parking requirements without exceeding the lot coverage

maximum or encroaching into required setbacks. As designed, the required two covered parking spaces are accommodated within the overall building footprint. If the garage was eliminated, construction of a detached garage or carport would result in lot coverage in excess of the maximum permitted, and due to the small size of the lot would likely require encroachments into the rear and/or side setbacks.

- Privileges Enjoyed by Others in the Vicinity Deprived to Subject Property:

The proposed home is similar in height and massing to homes in the vicinity on the downslope side of San Benito Road, including 125, 131, and 135 San Benito Road. Without approval of the requested variance to the building height limit, the subject property would be deprived of the ability to build a home of similar scale and massing to those in the surrounding neighborhood and in compliance with other development standards of the R-1 zoning district, including floor area and lot coverage.

- Conditions Necessary to Prevent a Grant of Special Privilege:

In order to prevent a grant of special privilege, staff has recommended a condition of approval that would require additional articulation of the rear outside wall to mitigate the excessive height at that elevation.

**Grading Permit review:** In 2003, the Planning Commission adopted guidelines for reviewing grading permit applications that contain findings for permit approval. The application **would meet** these findings.

- The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography (General Plan Policies 43, 245 & 312 and Program 18a).

The applicant proposes 157 cy of site grading, including 127.5 cy of excavation, of which 19.5 cy would be utilized on-site for fill and 98 cy would be exported off-site. As indicated by the submitted grading plans and site sections, the proposed site grading is limited to the footprint of the new home and driveway area to accommodate the new structure within the surrounding natural topography.

- The proposed grading is designed to avoid large exposed retaining walls (General Plan Policies 43 & 245).

The project proposes a new 6 ft, 4 inch retaining wall with an attached 42 inch railing within the front yard setback, roughly along the front lot line. This area is currently retained by the exterior wall of the existing home. The retaining wall would be downslope of the San Benito Road right-of-way and not easily viewed from off-site. A landscaping bed of approximately 3 ft, 10 inches in height along the width of the wall would reduce its exposure to both on- and off-site views.

- The proposed grading is designed to conserve existing street trees (as defined by BMC Section 12.12.020), any California Bay, Laurel, Coast Live Oak or California Buckeye

trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade.

There is a protected Oak tree located within the front yard along the east lot line. The applicant has designated a Tree Protection Zone (TPZ) surrounding the root zone of this tree where excavation and site grading would be prohibited. Staff has included a condition of approval that would require protective fencing to be installed to delineate the TPZ during construction.

**ATTACHMENTS:**

- Summary of Project Data
- Draft Resolution V-1-15/EX-1-15 with recommended Findings and Conditions of Approval
- Aerial site map
- Existing structure and site photos
- Applicant's plans
- Applicant's supporting statements

**Summary of Project Data  
119 San Benito Road**

<b>ADDRESS</b>	119 San Benito Road			
<b>APN</b>	007392020			
<b>ZONING DISTRICT</b>	R-1 Residential			
<b>Development Standard</b>	<b>Existing</b>	<b>Proposed</b>	<b>Min/Max</b>	<b>Status</b>
Lot Area	2,982.45 sf	-	5,000 sf	Lot of record; per submitted site survey
Lot Slope	18%	26%	-	Per submitted site slope analysis
Lot Coverage	-	1124 SF or 38%	1192 SF or 40%	Complies with standard
<b>Setbacks</b>				
West Side	-	4 ft	4 ft (10% of lot width)	Complies with standard
East Side	-	4 ft	4 ft (10% of lot width)	Complies with standard
Rear	-	10 ft, 3 in	10 ft	Complies with standard
Front	-	16 ft, 5 in	7 ft, 7 9/16 in (Block average)	Complies with standard
Floor Area	-	2,115 SF or 0.71	0.72 or 2,160 SF	Complies with standard (200 sf deducted for covered parking on lot 3,700 sf or less)
Height	-	30 ft	28 ft (Lot slope < 20%)	<b>Does not comply with standard</b>
Parking	-	2 garage (1 standard, 1 compact); 2 off-site, off-street (standard); 1 on-street (compact)	2 covered on-site, 2 on or off-site	Complies with standard
Landscaping- FYSB	-	56% (174 SF)	15% of FYSB (47 SF)	Complies with standard (Area of FYSB= 311 SF)
Articulation	-	11% (73 SF)	30% of rear outside wall (184.5 SF)	<b>Additional articulation required</b>

Draft  
RESOLUTION V-1-15/EX-1-15

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE  
APPROVING VARIANCE V-1-15 & GRADING PERMIT EX-1-15  
FOR A NEW SINGLE-FAMILY HOME

WHEREAS, Quincy Bragg applied to the City of Brisbane for Variance and Grading Permit approval to construct a single-family dwelling at 119 San Benito Road with a maximum height of 30 feet and 157 cubic yards of site grading including the removal of 98 cubic yards of soil from the site, such application being identified as V-1-15/EX-1-15; and

WHEREAS, on May 14, 2015, the Planning Commission conducted a hearing of the application, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15303(a) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Variance and Grading Permit;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of May 14, 2015 did resolve as follows:

Variance V-1-15 is approved per the findings and conditions of approval attached herein as Exhibit A.

City Engineer issuance of Grading Permit EX-1-15 is recommended by the Planning Commission in compliance with the conditions of approval attached herein as Exhibit A.

ADOPTED this 14th day of May, 2015, by the following vote:

AYES:  
NOES:  
ABSENT:

\_\_\_\_\_  
TuongVan Do  
Chairperson

ATTEST:

\_\_\_\_\_  
JOHN A. SWIECKI, Community Development Director

**DRAFT  
EXHIBIT A**

**Action Taken:** Conditionally approved Variance V-1-15 and recommended City Engineer issuance of Grading Permit EX-1-15, per the staff memorandum with attachments, via adoption of Resolution V-1-15/EX-1-15.

**Findings:**

**Variance V-1-15**

1. The variance shall be subject to the conditions included herein to assure that the adjustment authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and within the R-1 zoning district in which the subject property is located.
2. Because of special circumstances applicable to subject property, specifically the 15-20 foot drop in grade between the front lot line of the subject property and the Humboldt Road right-of-way and the curved orientation of the front property line, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification, namely adjacent homes of similar scale and massing.

**Grading Permit EX-1-15**

- The proposed grading of 157 cubic yards, including 98 cubic yards of soil export, is minimized and designed to reflect or fit comfortably with the natural topography, as indicated by the grading plans and site sections.
- The proposed grading is designed to avoid large exposed retaining walls. A new 6 ft, 4 inch retaining wall with attached 42 in. railing within the front yard setback would be downslope from the public right-of-way and partially covered by a landscaping bed approximately 3 ft, 10 inches in height.
- The proposed grading is designed to conserve existing street trees (as defined by BMC Section 12.12.020), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade. A protected Oak tree located within the front yard along the east lot line will be protected from grading activity within a Tree Protection Zone (TPZ) surrounding the root zone.

DRAFT

**Conditions of Approval:**

Prior to Issuance of a Building Permit

- A. The applicant shall obtain a building permit and a grading permit prior to proceeding with construction. Plans submitted for building permit shall substantially conform to plans on file in the City of Brisbane Planning Department dated received April 20, 2015, with the following modification:
  - 1. The plans shall provide additional articulation of the rear outside wall, to the satisfaction of the Planning Director.
  - 2. A landscape plan shall be submitted demonstrating compliance with the requirements of Brisbane Municipal Code §17.06.040.I, to the satisfaction of the Planning Director.
- B. Prior to issuance of a building permit, the applicant shall obtain an encroachment permit from the Department of Public Works for all proposed construction activity and private improvements within the public right-of-way, including the driveway and stairway within the front yard. The City Engineer shall waive the maximum curb cut specified in Brisbane Municipal Code §12.24.015.
- C. Prior to issuance of a building permit, the applicant shall:
  - 1. Obtain an engineer's construction cost estimate, acceptable to the City Engineer, for the work shown on all grading and improvement plans.
  - 2. Provide the City a check in the amount of 25% of the construction cost estimate approved by the City Engineer. The City shall hold this dollar amount on deposit until such time as the City determines the improvements are to be completed, whether that determination is by conditioning another developer to complete the improvements, or the City elects to complete the improvements itself.
- D. Prior to issuance of a building permit, the property owner shall enter into standard landscape maintenance agreements with the City.
- E. Prior to issuance of a building permit, an agreement shall be recorded between the owner and the City whereby the owner waives the right to protest the inclusion of the property within an underground utility district.

During Construction

- F. Prior to issuance of a demolition permit, the applicant shall install or cause to be installed protective fencing to delineate the Tree Protection Zone surrounding the protected Oak tree in the front yard of the property, to the satisfaction of the Planning Director. The fencing shall remain in place throughout the duration of demolition, site grading, and project construction.

Other Conditions

- G. All glass shall be nonreflective, and all exterior lighting shall be located so as not to cast glare upward or onto surrounding streets or properties.



- H. Water and sanitary sewer service and storm drainage details shall be subject to approval by the City Engineer.
- I. Drawings depicting all work completed and proposed shall be provided to the satisfaction of the City. Exposure of covered work may also be required to demonstrate compliance with building code requirements.
- J. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts, or determinations taken, done or made prior to the granting of such approval, permit, or entitlement.
- K. Minor modifications may be approved by the Planning Director in conformance with all requirements of the Municipal Code.
- L. The Variance permit approval shall expire two years from its effective date (at the end of the appeal period) if a Building Permit has not been issued for the approved project or if the Building Permit, once issued, is allowed to expire prior to final inspection.

**Aerial Site Map  
119 San Benito Road**

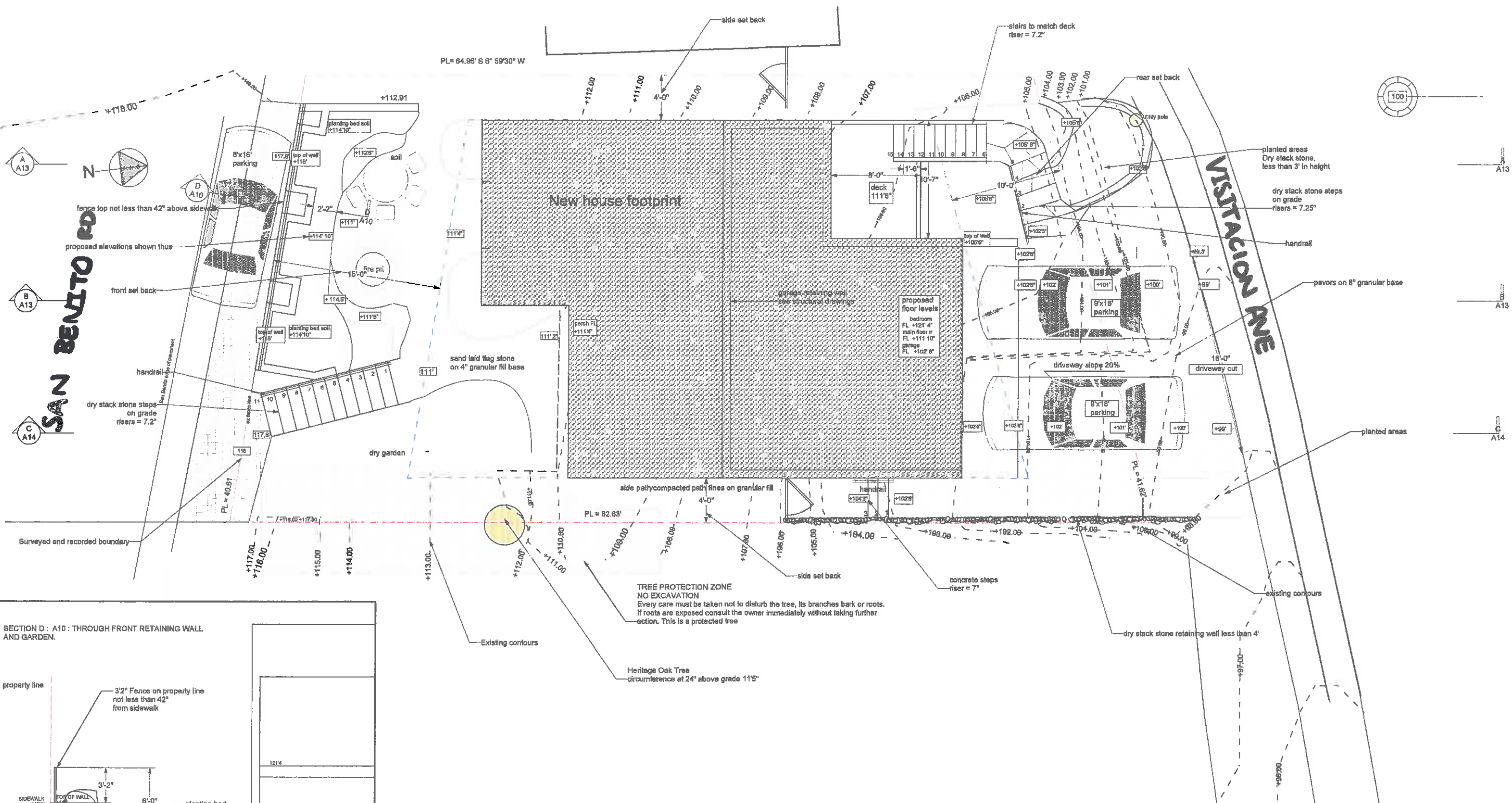


**119 San Benito Road  
Existing structure, rear elevation (from Visitacion Ave)**

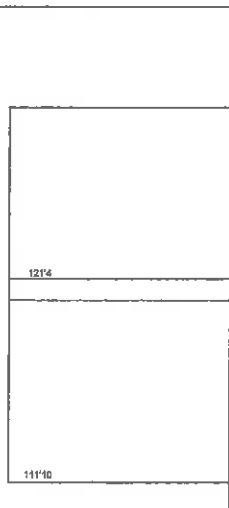
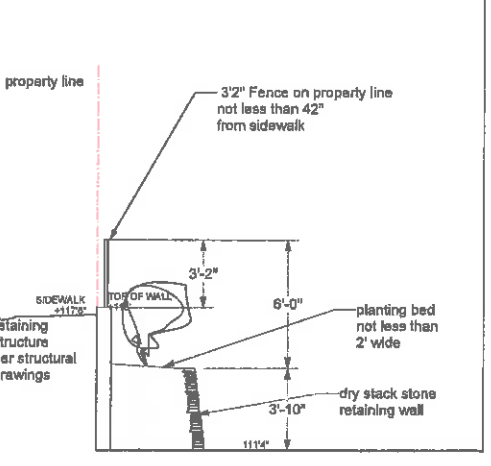


**Existing structure, front elevation (San Benito Rd)**





SECTION D : A10 : THROUGH FRONT RETAINING WALL AND GARDEN.



**TREE PROTECTION ZONE**  
 NO EXCAVATION  
 Every care must be taken not to disturb the tree, its branches bark or roots.  
 If roots are exposed consult the owner immediately without taking further action. This is a protected tree

Heritage Oak Tree  
 circumference at 24\"/>

No.	Date	Revision Notes	Zone	Approvals	No.	Date	Issue Notes
B	4/8/15	proposed grading levels added house FL raised 12\"/>					
A	1/24/15	Revised to accommodate Surveyor's data					

Design Firm:  
 Sarah FitzGerald  
 716 Hacienda Way  
 Millbrae CA 94030  
 415 412 7510

Project Title:  
 Bragg FitzGerald Residence  
 119 San Benito  
 Brisbane

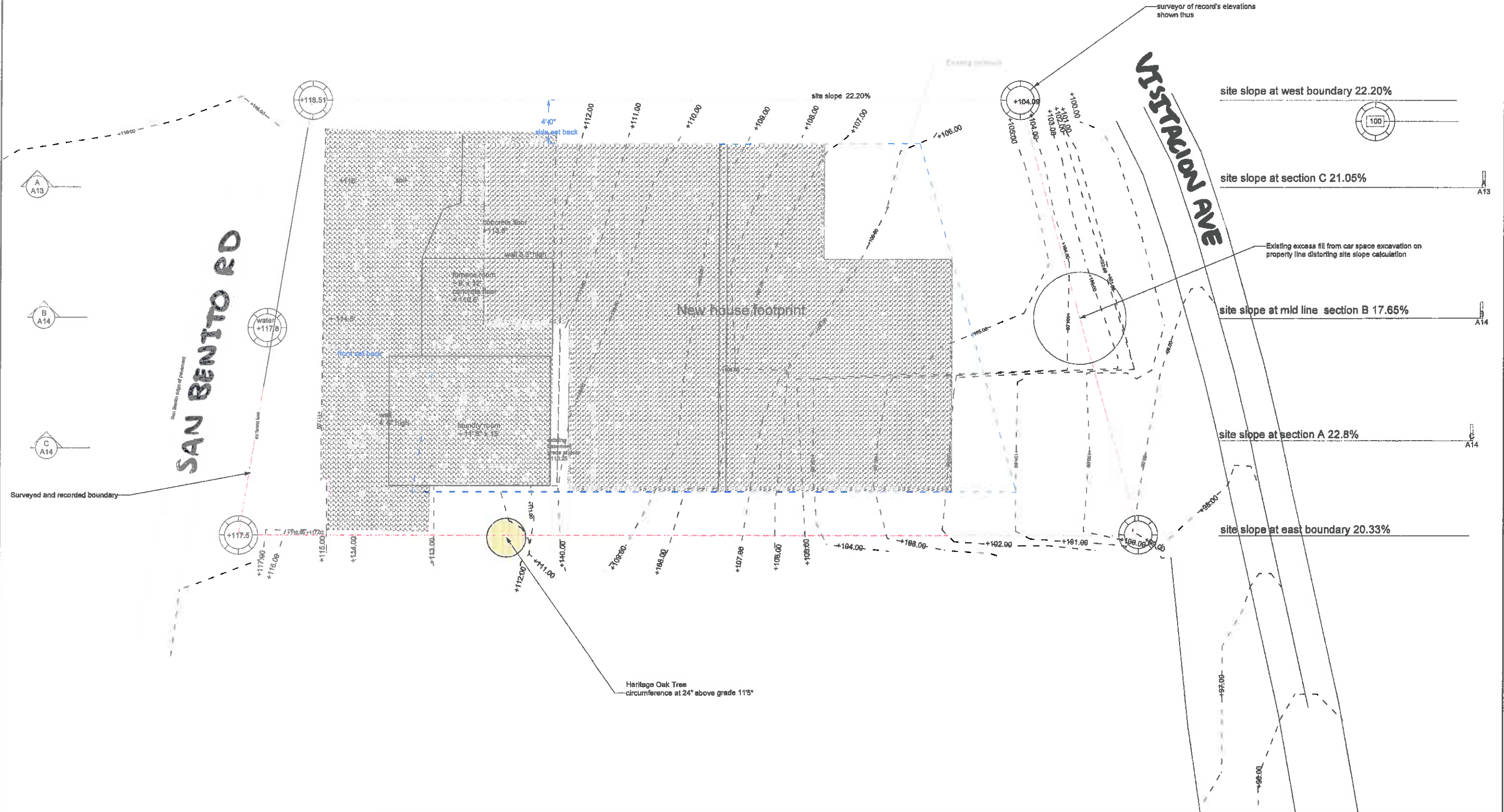
Project Manager: SF  
 Owner: SF  
 Approved By: QB

Date: 4/07/2015  
 CAD File Name: Bragg FitzGerald

Project ID: Bragg FitzGerald  
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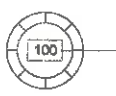
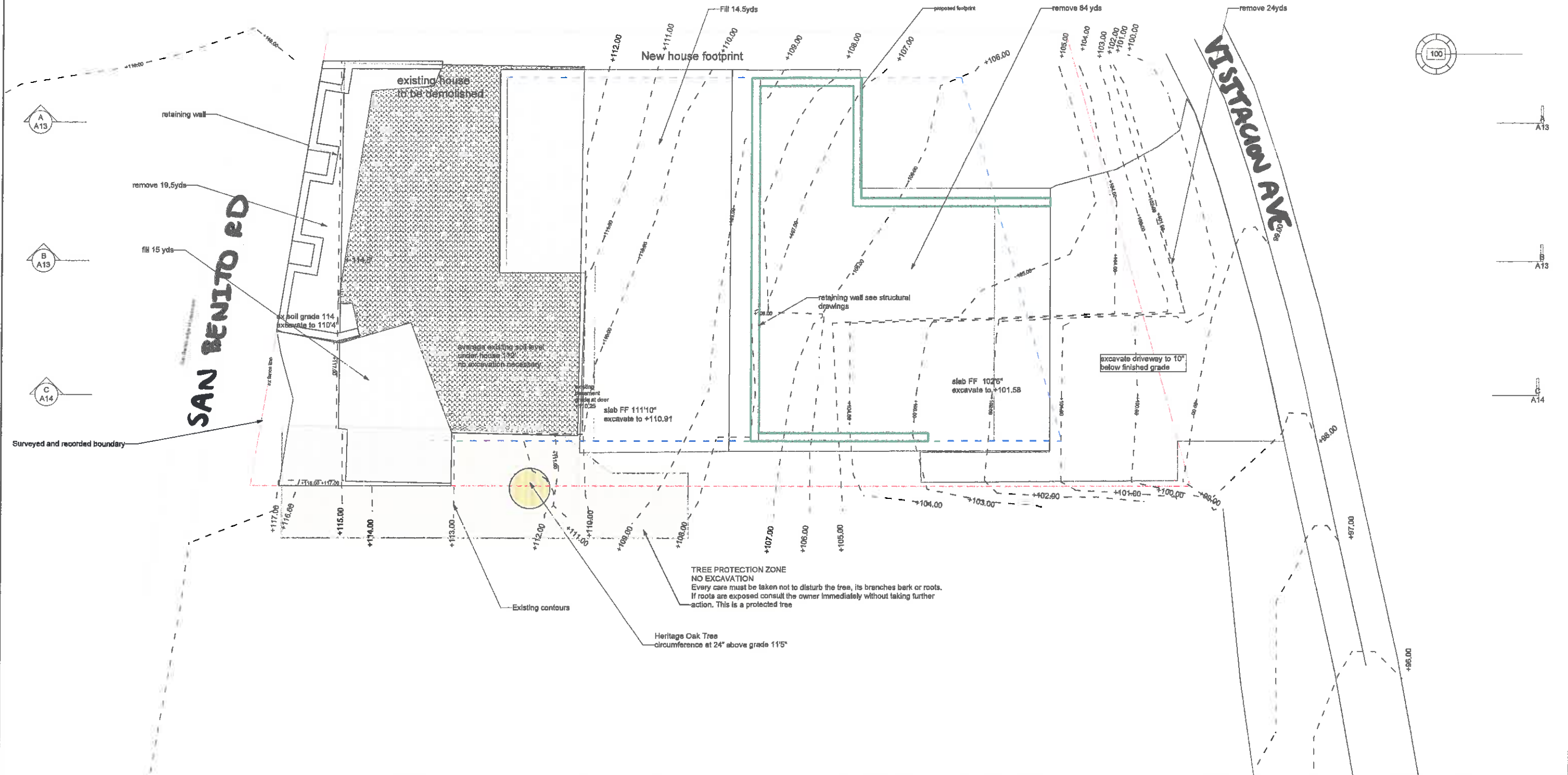


A	1/21/15	Revised to accommodate Surveyor's data	Zone	Approvals	No.	Date	Issue Notes		Design Pk:	Sarah FitzGerald 716 Hacienda Way Milbrae CA 94030 415 412 7510	Project Title:	Bragg FitzGerald Residence 119 San Benito Brisbane	Project Manager:	SF	Project ID:	Bragg FitzGerald
	No.	Date							Revision Notes	Drawn By:	SF	Scale:	1/4" = 1' - 0"	Checked By:	QB	Drawn By:
									Consulted:		Sheet Title:	Grading Plan: existing conditions	Date:	4/07/2015	of	
									ESD File Name:	Bragg FitzGerald			25			

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Soil removal = 98 yds net



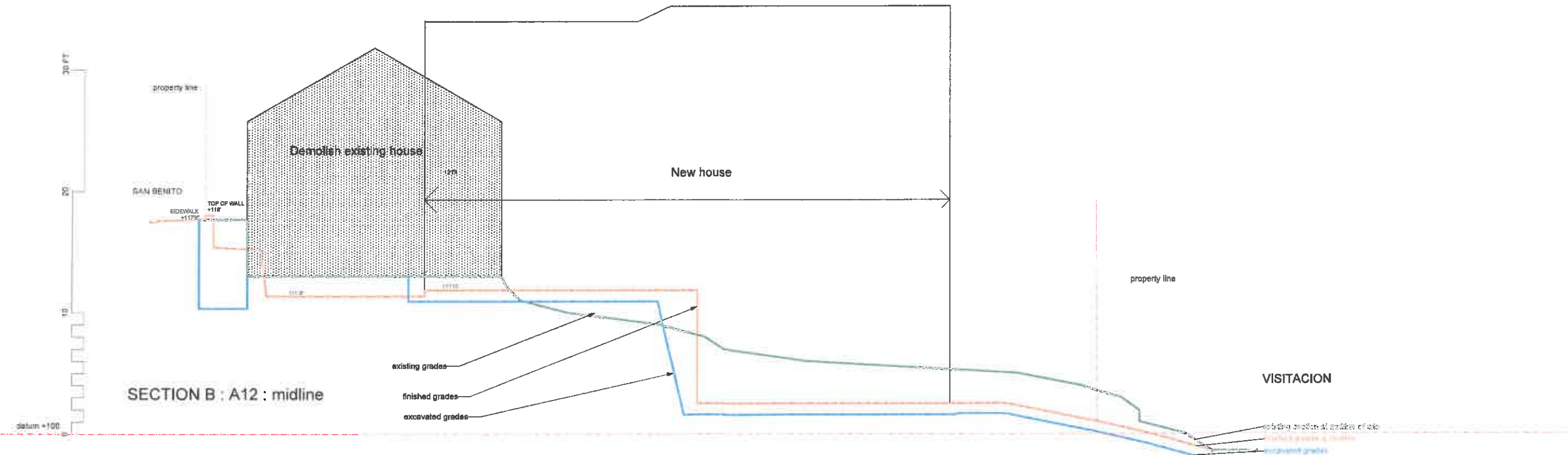
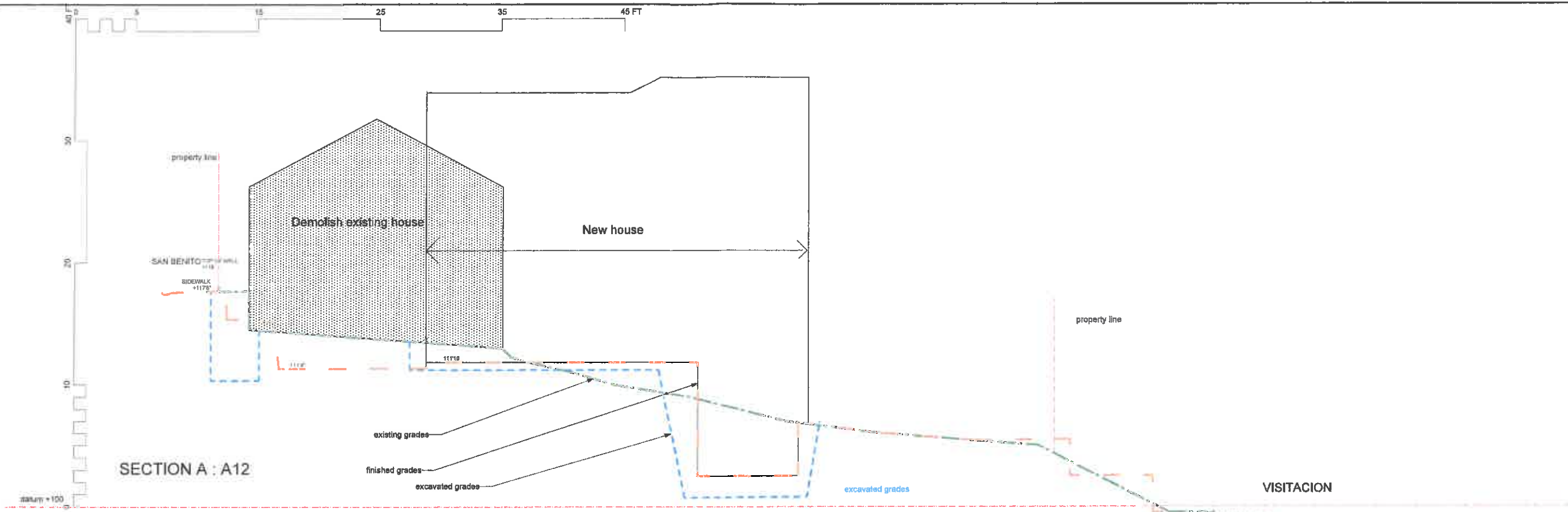
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**TREE PROTECTION ZONE**  
NO EXCAVATION  
Every care must be taken not to disturb the tree, its branches bark or roots.  
If roots are exposed consult the owner immediately without taking further action. This is a protected tree

Heritage Oak Tree  
circumference at 24" above grade 11'5"

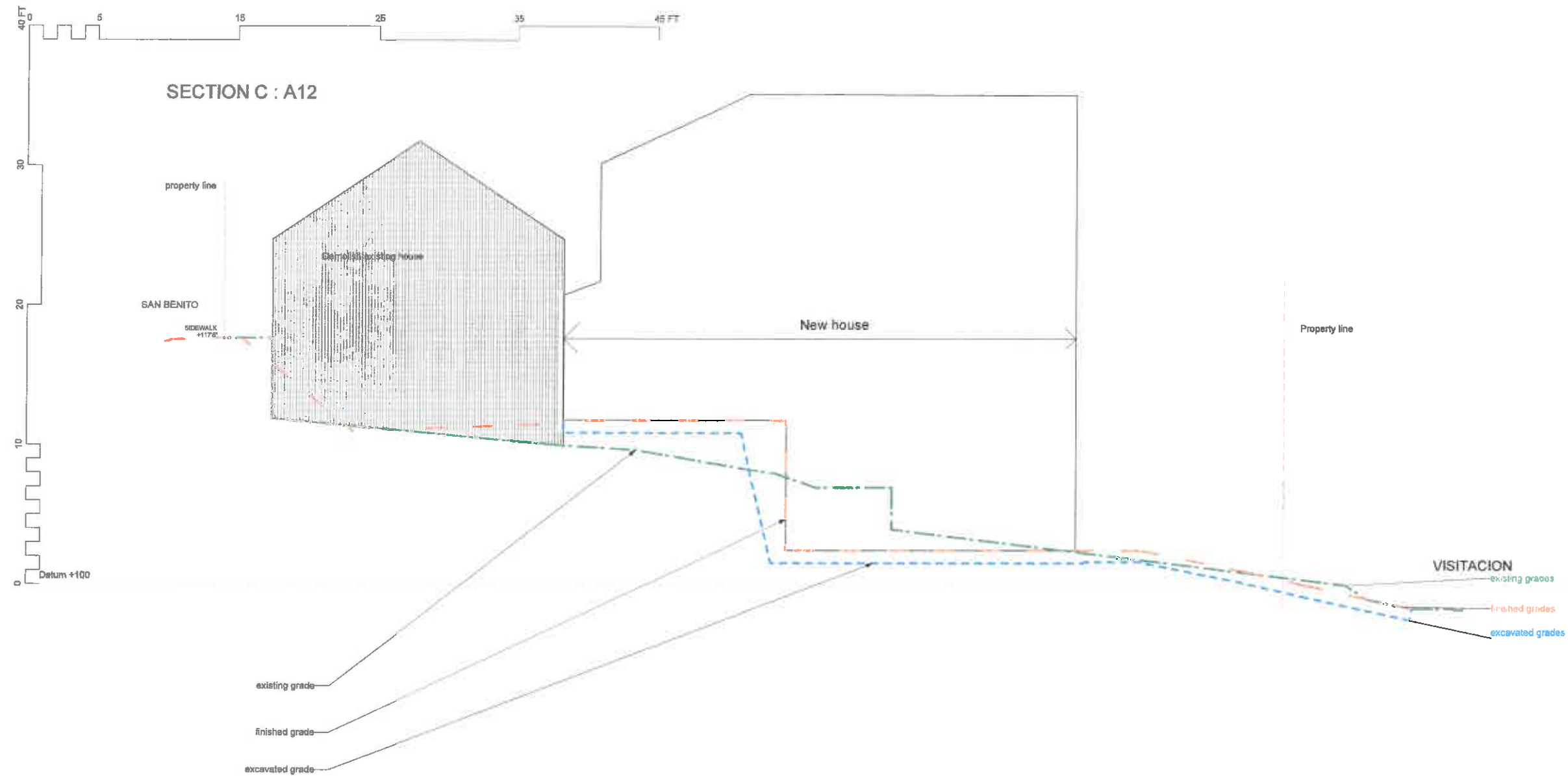
Design Firm <b>Sarah FitzGerald</b> 716 Hacienda Way Millbrae CA 94030 415 412 7510		Project Title <b>Bragg FitzGerald Residence</b> 119 San Benito Brisbane		Project Manager SF		Project ID Bragg FitzGerald	
Drawn By SF		Date 2/28/2015		Sheet 14" = 1' - 0"		Sheet No. <b>A9</b>	
Revison Notes QB		Date 2/28/2015		Sheet of		Sheet No. 25	
CAD File Name Bragg FitzGerald		Project Title <b>Grading Plan</b>		Project Manager SF		Project ID Bragg FitzGerald	

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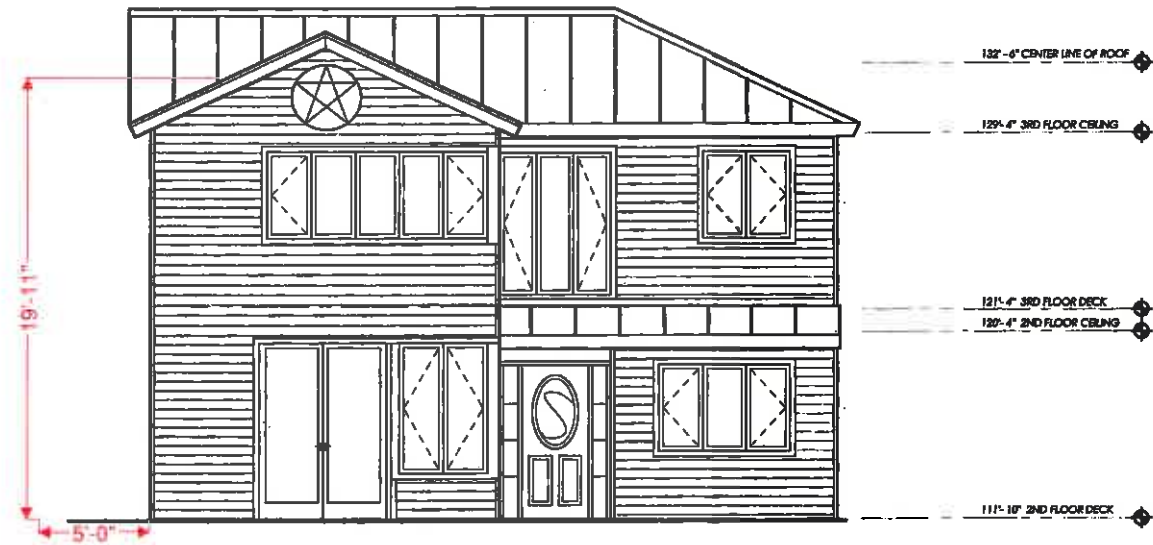
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A	1/21/15	Revised to accommodate Survey/L Data												
No.	Date	Revision Notes	Date	Appraised	Yes	Date	Drawn							

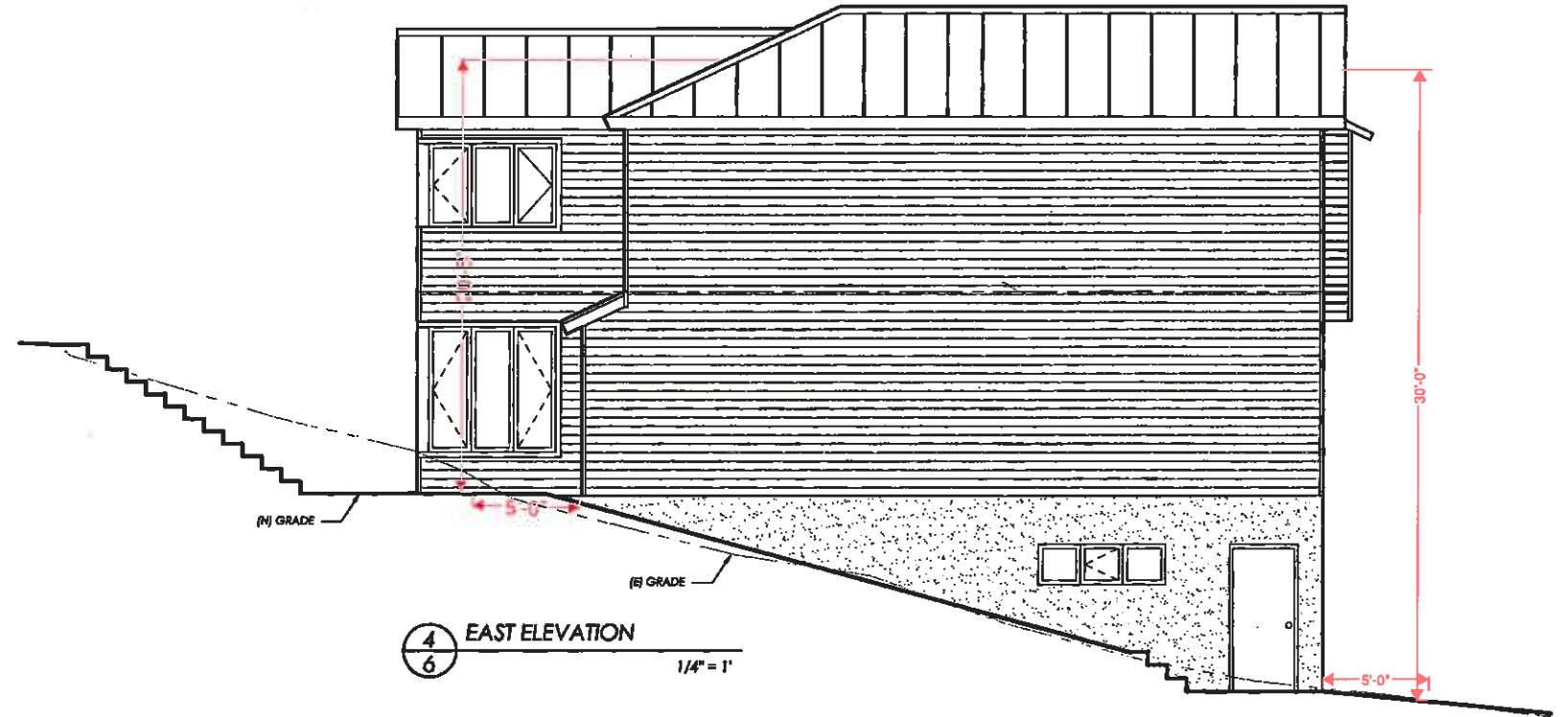
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(Front elevation- facing San Benito Road)

**3**  
**6** SOUTH ELEVATION  
1/4" = 1'

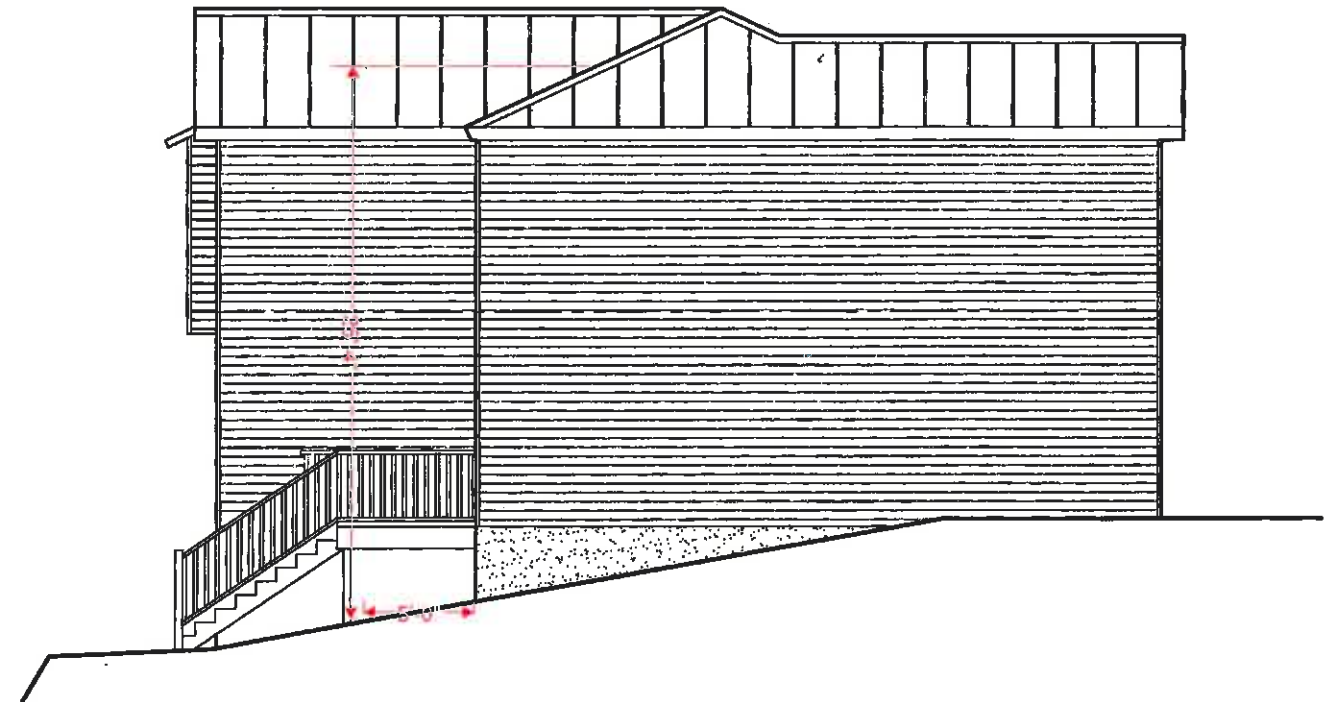


**4**  
**6** EAST ELEVATION  
1/4" = 1'



**1**  
**6** NORTH ELEVATION  
1/4" = 1'

(Rear elevation- facing Visitacion Avenue)



**2**  
**6** WEST ELEVATION  
1/4" = 1'

						Design Firm Sarah FitzGerald 716 Hacienda Way Millbrae CA 94030 415 412 7510		Project Title Bragg FitzGerald Residence 119 San Benito Brisbane, California		Project Manager SF Bragg FitzGerald	
						Consultant Kuhel Design 425 Mariposa St. Brisbane 415-608-1750		Sheet Title ELEVATIONS		Date 4/13/2015	
										Scale 1/4" = 1'-0"	
										Sheet No. <b>A6</b> of 25	
No.	Date	Revision Notes	Zone	Approvals	No.	Date	Issue Notes				

**SHEET NOTES:**

- 1 APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- 2 ALL WALLS & CEILING OF GARAGE W/ LIVING AREA ADJACENT TO BE 1 HOUR RATED AND REQUIRE 5/8" TYPE "X" GYPBD. WRAP ALL BEAMS AND SUPPORTING POSTS. PROVIDE 2 LAYERS 5/8" TYPE "X" GYPBD WHERE ATTACHED TO BOTTOM CHORD OF TRUSS.
- 3 1 1/4" - 2" HANDRAILS SHALL NOT PROJECT MORE THAN 3 1/2" INTO EACH SIDE OF THE REQUIRED WIDTH. STRINGERS AND OTHER PROJECTIONS SUCH AS TRIM ARE LIMITED TO 1 1/2" ON EACH SIDE. HANDRAIL SHALL HAVE A 1 1/4" - 2" GRIPABLE CROSS SECTION. NO SHARP CORNERS AND BE 34-36" ABOVE THE NOSING.
- 4 THE MINIMUM HEADROOM AT THE STAIRWAY SHALL BE 6' 8" ON A TANGENT.
- 5 INSTALL 5/8" TYPE "X" GYPSUM BOARD AT WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER STAIRS.
- 6 ALL GUARDRAILS SHALL CONFORM TO IBC. RAILINGS SHALL BE DESIGNED TO RESIST A LATERAL LOAD OF 20 P/LF AT AIR DUCTS THAT PENETRATE THE SEPARATION WALL OR CEILING THE TOP OF THE RAILING. INTERMEDIATE RAILS SHALL BE PROVIDED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.
- 7 A MIN. OF 36"x34" DEEP LANDING IN DIRECTION OF TRAVEL AT ALL EXTERIOR DOORS ARE REQUIRED. A 8" MAX. DROP FOR IN SWINGING DOORS AND A 1" MAX. FOR OUT SWINGING DOORS. FROM THE TOP OF THE THRESHOLD TO LANDING AT ALL EXTERIOR DOORS.
- 8 INSTALL FURNACES & DUCTS AND BOILER & RADIATORS OR RADIANT HEATING COILS PER ENERGY REPORT.
- 9 (N) CHASE HEATING DUCTS. R4.2 IN NON HEAT RM.
- 10 ALL NEW WINDOWS TO BE DOUBLE GLAZED
- 11 ELECTRICAL OUTLET MUST BE NO LESS THAN 12" ON CENTER APART AND ON WALLS 2'-0" WIDE OR MORE AT LEAST ONE OUTLET IS REQUIRED.
- 12 INSTALL GFCI PROTECTED OUTLETS IN THE FOLLOWING LOCATIONS: ALL GARAGE LOCATIONS, EXCEPT APPLIANCES. ALL UNFINISHED BASEMENT, CRAWL SPACES AND STORAGE AREAS. WITHIN 6' OF A BASIN OR SINK. ALL EXTERIOR (WATERPROOF) LOCATIONS.

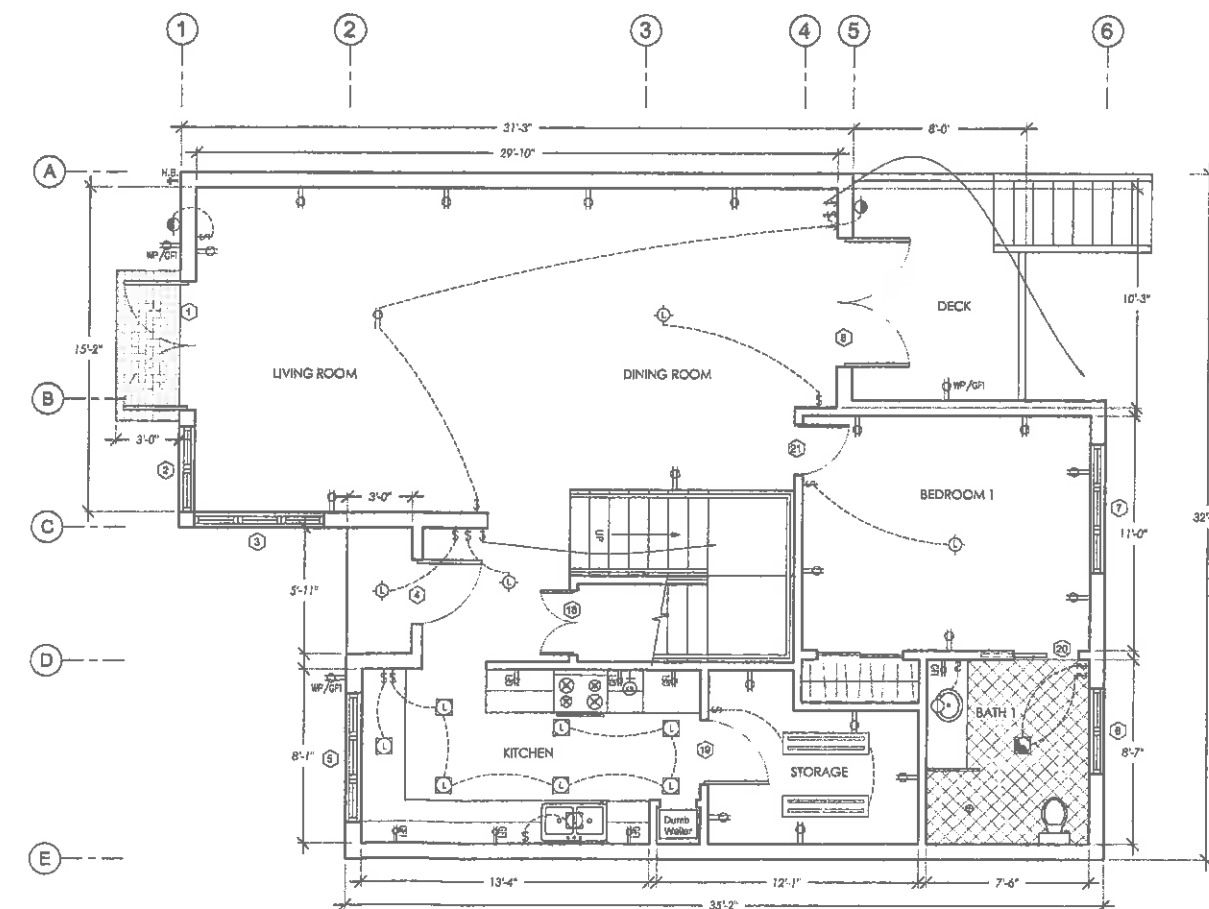
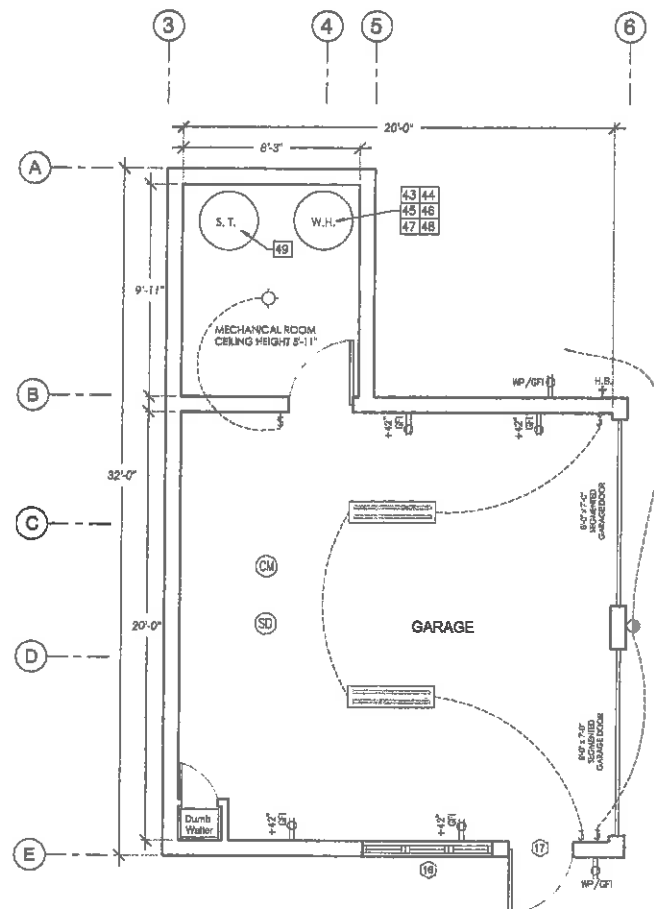
- 13 APPLIANCES FASTENED IN PLACE (DISHWASHERS, GARBAGE DISPOSERS, TRASH COMPACTORS, MICROWAVE, ETC) SHALL BE SUPPLIED BY A SEPARATE BRANCH CIRCUIT RATED FOR THE APPLIANCE LOAD. SMOKE DETECTORS ARE TO BE 110 V AND POWERED WITH A BATTERY BACKUP AND INTERCONNECTED.
- 14 FLOURESCENT LIGHTING IN THE KITCHEN & BATHROOMS ARE TO BE THE "GENERAL LIGHTING". PER TITLE 24 ENERGY REQUIREMENTS, MANDATORY MEASURES. MECHANICAL & VENTILATION SYSTEM MUST BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN THE BATHROOMS & LAUNDRY.
- 15 PROVIDE EXTERIOR GFI OUTLET (WATERPROOF) A MIN. OF ONE EACH, FRONT & REAR OF STRUCTURE.
- 16 ELECTRICAL PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIALS SUCH AS CLOTHES CLOSETS.
- 17 DEDICATED 20 AMP CIRCUIT REQUIRED TO SERVE BATHROOM RECEPTACLES
- 18 2 SMALL APPLIANCE BRANCH CIRCUITS FOR KITCHEN ARE LIMITED TO SUPPLYING WALLS & COUNTER TOP RECEPTACLES
- 19 ALL BRANCH CIRCUITS THAT SUPPLY 125VOLT, SINGLE-PHASE, 15- AND 20- AMP RECEPTACLE OUTLETS INSTALLED IN ENTIRE DWELLING SHALL PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI), PER SEC 210-12 & SHALL BE LISTED TAMPER RESISTANT
- 20 ALL LIGHTING IN NEW ADDITION IS TO BE HIGH EFFICIENCY TYPE FIXTURES, RATINGS AS FOLLOWS.
 

LAMP RATING	LAMP EFFICIENCY
15 WATTS OR LESS	40 LUMENS/WATT
OVER 15 & UP TO 40	50 LUMENS/WATT
OVER 40 WATTS	60 LUMENS/WATT
- 21 BALLASTS FOR LAMPS RATED 13 WATTS OR GREATER TO BE ELECTRONIC TYPE WITH AN OUTPUT FREQUENCY OF AT LEAST 20KHz
- 22 KITCHEN LIGHTING MAY HAVE FIXTURES NOT HIGH EFFICIENCY IF SEPARATELY SWITCHED AND TOTAL WATTS IN LOW EFFENCY IS LESS THAN 50% OF TOTAL KITCHEN LIGHTING WATTS
- 23 BATH-ROOMS, GARAGE, LAUNDRY ROOM AND UTILITY ROOMS MAY HAVE LOW EFFICIENCY FIXTURES IF CONTROLLED BY AN OCCUPANCY SENSOR THAT IS MANUAL ON AND AUTOMATIC OFF WITH "NO" ALWAYS ON OVERRIDE

- 24 LIGHTING OTHER THAN KITCHEN, BATHROOMS, GARAGE, LAUNDRY ROOM AND UTILITY ROOMS MAY HAVE LOW EFFICIENCY FIXTURES IF COMPLIANT WITH THE FOLLOWING.
  1. CONTROLLED BY AN OCCUPANCY SENSOR THAT IS MANUAL ON AND AUTOMATIC OFF WITH "NO" ALWAYS ON OVERRIDE
  2. CONTROLLED BY DIMMER SWITCH
  3. IN CLOSETS LESS THAN 70 SQ FT IN FLOOR AREA
- 25 LIGHTING IN AREAS ADJACENT TO KITCHEN, INCLUDING BUT NOT LIMITED TO DINING AND NOOK AREA, ARE CONSIDERED KITCHEN LIGHTING IF THEY ARE NOT SEPARATELY SWITCHED FROM KITCHEN LIGHTING.
- 26 LUMINARIES RECESSED INTO INSULATED CEILINGS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) BY UNDERWRITERS LABORATORIES OR OTHER TESTING/RATING LABORATORIES RECOGNIZED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS AND SHALL INCLUDE A LABEL CERTIFYING AIR TIGHT (AT) OR SIMILAR DESIGNATION TO SHOW AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS (OR 1.57LBS/2FT) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AND SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND CEILING.
- 27 OUTDOOR LIGHTING FIXTURES POWERED BY THE HOME MAY BE LOW EFFICIENCY IF CONTROLLED BY A MOTION SENSOR INCLUDING A INTEGRAL PHOTO SENSOR. ALL LIGHTING AROUND WATER FEATURES SUBJECT TO ELECTRICAL CODE ARTICLE 680 ARE EXEMPT FOR HIGH EFFICIENCY RATING.
- 28 SURFACE MOUNTED FIXTURES WITH COMPLETELY ENCLOSED LAMPS INSTALLED ON WALL ABOVE THE DOOR OR ON CEILING SHALL HAVE A MINIMUM CLEARANCE OF 12" BETWEEN THE FIXTURE AND THE NEAREST POINT OF STORAGE.
- 29 WATER CLOSET SHALL BE AN ULTRA LOW FLUSH TYPE WITH 1.28 GALLONS MAXIMUM FLUSH AND TO HAVE A MINIMUM SIDE CLEARANCE OF 15" ON EACH SIDE FROM CENTERLINE TO WALL AND A MINIMUM OF 24" IN FRONT
- 30 CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE.
- 31 PROVIDED DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THE QUICK-ACTING VALVES FROM THE DISHWASHER
- 32 SHOWER AREA WALLS SHALL BE FINISHED WITH A HARD, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE DRAIN INLET.
- 33 CHANGE IN ELEVATION BETWEEN EXTERIOR LANDINGS AND INTERIOR FINISH FLOOR TO BE A MAXIMUM OF 7.75" WITH IN-SWINGING DOORS AND A MAXIMUM OF 7" WITH OUT-SWINGING DOORS.

- 34 A NON-REMOVEABLE BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED ON ALL EXTERIOR HOSE BIBS
- 35 WOOD EXPOSED TO WEATHER SHALL BE APPROVED WOOD OF NATURAL RESISTANCE TO DECAY OR TREATED WOOD. ALL FASTENERS IN CONTACT WITH TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL
- 36 EXHAUST HOOD TO BE MINIMUM 100 CFM
- 37 ALL ELECTRICAL RECEPTILES IN ALL LIVING, GUEST, AND DINING ROOMS ARE TO BE AFCI PROTECTED.
- 38 STAIR DETAILS: TYP. RISERS @ 7 1/8" TYP. TREADS @ 11" - VIF MAX. RISER: 7 3/4" MIN. TREAD: 10"
- 39 ALL BATHROOM LIGHTING TO BE HIGH-EFFICACY OR CONTROLLED BY AN OCCUPANCY SENSOR SWITCH
- 40 SMOKE ALARMS ARE TO BE 110 V AND POWERED WITH A BATTERY BACKUP AND INTERCONNECTED
- 41 ONE CARBON MONOXIDE ALARMS TO BE INSTALL ON EACH LEVEL.
- 42 MECHANICAL & VENTILATION SYSTEM MUST BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN THE BATHROOMS & LAUNDRY.
- 43 SEPARATE DUCTS ARE REQUIRED FOR COMBUSTION AIR OPENINGS. 1/2 OF THAT AREA MUST BE WITHIN 12" OF THE CEILING AND THE OTHER 1/2 WITHIN 12" OF THE FLOOR.
- 44 WATER HEATER SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND THE LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, THE STRAPPING SHALL MAINTAINED A MINIMUM DISTANCE OF FOUR INCHES ABOVE THE CONTROLS
- 45 WATER HEATER SHALL BE VENTED PER GMC Ch8 AND PROVIDED WITH A PRESSURE OR COMBINATION PRESSURE AND TEMPERATURE RELIEF VALVE.
- 46 INSTALL R-1 INSULATION BLANKET TO THE WATER HEATER.
- 47 WATER HEATER TO HAVE EXPANSION TANK
- 48 WATER HEATER SERVE BOTH DOMESTIC USE AND RADIANT FLOOR HEATING. SEE ENERGY SHEETS FOR DETAILS

49 SURGE TANKS FOR GREY WATER SYSTEM. SEE SHEET - A11 FOR DETAILS



RECEIVED  
APR 11 2015  
Comm. Dev. Dept. E...

SYMBOL/DESCRIPTION	
⊖	DUPLEX RECEPTACLE
⊕	220 RECEPTACLE
⊖	FOUR PLEX RECEPTACLE
⊖	GROUND FAULT INTERRUPTOR CIRCUIT
⊖	GROUND FAULT WATER PROOF
⊖	SWITCH
⊖	THREE WAY SWITCH
⊖	RECESSED CAN LIGHT FIXTURE
⊖	LED RECESSED CAN FIXTURE
⊖	SURFACE MOUNTED LIGHT FIXTURE
⊖	LED SURFACE MOUNTED LIGHT FIXTURE
⊖	LOW VOLTAGE PENDANTS
⊖	WALL MOUNTED LIGHT FIXTURE
⊖	FLUORESCENT CEILING FIXTURE
⊖	FLUORESCENT LIGHT & FAN COMBINATION (SEPARATELY SWITCHED)
⊖	20 WATT PLUGS (MOUNTED BELOW CABINETS)
⊖	TV CABLE
⊖	CO DETECTOR
⊖	SMOKE DETECTOR
⊖	PHONE JACK
⊖	GAS KEY VALVE
⊖	CAT 5 CABLE
⊖	HOSE BR

Design Firm		Sarah FitzGerald 716 Hacienda Way Millbrae CA 94030 415 412 7510		Project Title		Bragg FitzGerald Residence 119 San Benito Brisbane, California		Project Manager		SF		Project ID		Bragg FitzGerald	
Consultant		Kuhel Design 425 Mariposa St. Brisbane 415-608-1750		Sheet Title		FIRST & SECOND FLOOR PLAN		Drawn By		SF & JK		Scale		1/4" = 1' - 0"	
No.		Date		Revision Notes		Zone		Approved		No.		Date		Issue Notes	

G.1.18

**SHEET NOTES:**

- 1 1/4" - 2" HANDRAILS SHALL NOT PROJECT MORE THAN 3/4" INTO EACH SIDE OF THE REQUIRED WIDTH. STRINGERS AND OTHER PROJECTIONS SUCH AS TRIM ARE LIMITED TO 1/2" ON EACH SIDE. HANDRAIL SHALL HAVE A 1/4" - 2" GRIPABLE CROSS SECTION. NO SHARP CORNERS AND BE 34-38" ABOVE THE NOSING.
- 2 THE MINIMUM HEADROOM AT THE STAIRWAY SHALL BE 8' 0" ON A TANGENT.
- 3 INSTALL 5/8" TYPE "X" GYPSUM BOARD AT WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER STAIRS.
- 4 ALL GUARDRAILS SHALL CONFORM TO UBC. RAILINGS SHALL BE DESIGNED TO RESIST A LATERAL LOAD OF 20 P/LF AT AIR DUCTS THAT PENETRATE THE SEPARATION WALL OR CEILING THE TOP OF THE RAILING. INTERMEDIATE RAILS SHALL BE PROVIDED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.
- 5 ALL NEW WINDOWS TO BE DOUBLE GLAZED
- 6 ELECTRICAL OUTLET MUST BE NO LESS THAN 12" ON CENTER APART AND ON WALLS 2'-0" WIDE OR MORE AT LEAST ONE OUTLET IS REQUIRED.
- 7 INSTALL GFCI PROTECTED OUTLETS IN THE FOLLOWING LOCATIONS: ALL GARAGE LOCATIONS, EXCEPT APPLIANCES. ALL UNFINISHED BASEMENT, CRAWL SPACES AND STORAGE AREAS. WITHIN 6' OF A BASIN OR SINK, ALL EXTERIOR (WATERPROOF) LOCATIONS.
- 8 FLOURESCENT OR LED LIGHTING IN THE KITCHEN & BATHROOMS ARE TO BE THE "GENERAL LIGHTING", PER TITLE 24 ENERGY REQUIREMENTS, MANDATORY MEASURES.
- 9 MECHANICAL & VENTILATION SYSTEM MUST BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN THE BATHROOMS & LAUNDRY.
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- 11 DEDICATED 20 AMP CIRCUIT REQUIRED TO SERVE BATHROOM RECEPTACLES
- 12 ALL BRANCH CIRCUITS THAT SUPPLY 125VOLT, SINGLE-PHASE, 15- AND 20- AMP RECEPTACLE OUTLETS INSTALLED IN ENTIRE DWELLING SHALL PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI), PER CEC 210-12 & SHALL BE LISTED TAMPER RESISTANT

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- 19 WATER CLOSET SHALL BE AN ULTRA LOW FLUSH TYPE WITH 1.23 GALLONS MAXIMUM FLUSH AND TO HAVE A MINIMUM SIDE CLEARANCE OF 15" ON EACH SIDE FROM CENTERLINE TO WALL AND A MINIMUM OF 24" IN FRONT
- 20 CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE.

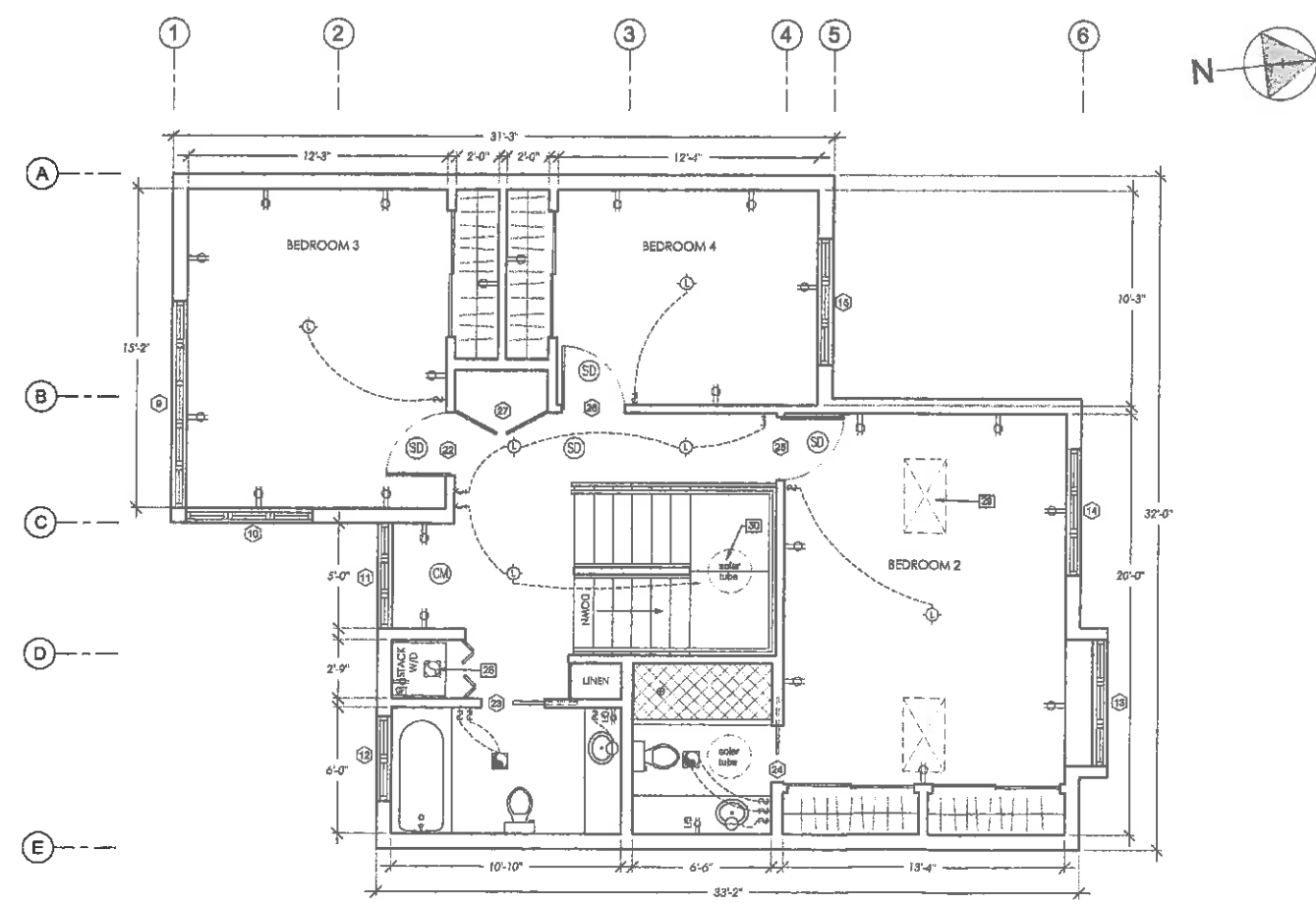
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- 26 SMOKE ALARMS ARE TO BE 110 V AND POWERED WITH A BATTERY BACKUP AND INTERCONNECTED
- 27 ONE CARBON MONOXIDE ALARMS TO BE INSTALL ON EACH LEVEL
- 28 MECHANICAL & VENTILATION SYSTEM MUST BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN THE BATHROOMS & LAUNDRY.
- 29 CONTINUOUS EXHAUST FAN: TYPICAL BATH EXHAUST FAN (MINIMUM VOLUME TO MEET STANDARDS SET OUT IN THE 2019 C.E.C. STANDARDS - CF-6R-MECH-05). FAN TO BE WIRED TO TYPICAL WALL SWITCH LABELED TO REMAIN ON AT ALL TIMES, - 100 MIN. CFM WITH 6" MIN. DUCT SIZE CLIENT TO SPECIFY MANUFACTURER.
- 30 SKYLIGHTS BY R 83 MANUFACTURERS: Model 2246 GAL-SD-GM-I-TC-LW-MF 22" x 48" (L.D.) Tempered clear glass over laminated white with a clear finish frame.
- 31 SOLAR TUBES BY VELLUX MODEL T.B.D. BY CLIENT

**WINDOW & DOOR SCHEDULE:**

NO.	LOCATION	DESCRIPTION	L.G. WIDTH	L.G. HEIGHT
<b>Main Floor Exterior</b>				
1	living rm. South	pair 3-0 x 8-0 clad outswing doors	6-0	8-0
2	living rm. South	pair 2-0 x 6-0 clad push-out casement	4-1	5-11 5/8
3	living rm. East	3 lite, clad, center fixed, slides casement push outs 24 x 72	6-1	5-11 5/8
4	front door	3-0 x 6-8 with sidelites	5-2	6-10 1/2
5	kitchen south	3 lite, clad, center fixed, slides casement push outs 24 x 48	6-1	3-11 5/8
6	guest bath north	pair clad push-out casement, 24 x 48	4-1	3-11 5/8
7	guest rm. North	3 lite, clad, center fixed, slides casement push outs 24 x 48	6-1	3-11 5/8
8	dining north	pair 3-0 x 8-0 clad outswing doors	6-0	8-0
<b>Upper Floor Exterior</b>				
9	bedroom 3 south	3 lite, clad, 3 center fixed, slides casement push outs 24 x 72	10-1	3-11 5/8
10	bedroom 3 east	3 lite, clad, center fixed, slides casement push outs 24 x 48	6-1	3-11 5/8
11	upper hall south	3 lite, clad, center fixed, slides casement push outs 20 x 80	5-2	6-10 1/2
12	bedroom south	pair clad push-out casement, 24 x 48	4-1	3-11 5/8
13	mech. Bdrm. North	3 lite, clad, center fixed, slides casement push outs 24 x 48	6-1	3-11 5/8
14	mech. Bdrm. North	3 lite, clad, center fixed, slides casement push outs 24 x 48	6-1	3-11 5/8
15	bedroom 4 north	3 lite, clad, center fixed, slides casement push outs 24 x 48	6-1	3-11 5/8
<b>Garage</b>				
16	garage east	3 lite, clad, center casement push-out, slides fixed, 24 x 24	6-1	3-11 1/8
17	garage east	3-0 x 6-8 hollow metal door and frame	3-4 1/2	6-10 1/4
<b>Main Floor Interior</b>				
18	hall closet	pair 1-4 x 6-8, with ball catch at head		
19	kitchen/pantry	3-0 x 6-8		
20	guest bath	3-0 x 6-8 pocket door		
21	guest/dining	3-0 x 6-8		
<b>Upper Floor Interior</b>				
22	bedroom 3	3-0 x 6-8		
23	bathroom	3-0 x 6-8		
24	M. bathroom	2-8 x 6-8 pocket door		
25	M. bedroom	3-0 x 6-8		
26	bedroom 4	3-0 x 6-8		
27	hall closet	pair 1-10 x 6-8, with ball catch at head		

**Exterior Doors and Windows**  
Wood frame with exterior pre-finished metal cladding (except numbers 4 and 17). Insulating clear low-e glass. Provide insect screen on operable windows.  
Door #6 to use Owner's existing 3-0 x 6-8 solid wood door.  
Door #17 to be standard hollow metal door and frame.

**Interior Doors**  
Equal to Holey Brothers "Colonist" 6 panel solid core. Paint grade primed doors and frames.



**1 THIRD FLOOR PLAN**  
1/4" = 1'

SYMBOL/DESCRIPTION	
⊕	DUPLEX RECEPTACLE
⊕	220 RECEPTACLE
⊕	FOUR PLEX RECEPTACLE
⊕	GROUND FAULT INTERRUPTOR CIRCUIT
⊕	GROUND FAULT WATER PROOF
⊕	SWITCH
⊕	THREE WAY SWITCH
⊕	RECESSED CAN LIGHT FIXTURE
⊕	LED RECESSED CAN FIXTURE
⊕	SURFACE MOUNTED LIGHT FIXTURE
⊕	LED SURFACE MOUNTED LIGHT FIXTURE
⊕	LOW VOLTAGE PENDANTS
⊕	WALL MOUNTED LIGHT FIXTURE
⊕	FLUORESCENT CEILING FIXTURE
⊕	FLUORESCENT LIGHT & FAN COMBINATION (SEPARATELY SWITCHED)
⊕	20 WATT PUCKS (MOUNTED BELOW CABINETS)
⊕	TV CABLE
⊕	CO DETECTOR
⊕	SMOKE DETECTOR
⊕	PHONE JACK
⊕	GAS KEY VALVE
⊕	CAT 5 CABLE
⊕	HOSE BB

Design Firm		Sarah FitzGerald 716 Hacienda Way Millbrae CA 94030 415 412 7510		Project Title		Bragg FitzGerald Residence 119 San Benito Brisbane, California		Project Manager		SF		Project ID		Bragg FitzGerald	
Consultant		Kuhel Design 425 Mariposa St. Brisbane 415-508-1750		Sheet Title		THIRD FLOOR PLAN		Drawn By		SF & JK		Scale		1/4" = 1' - 0"	
Date		2/26/2015		Revised By		QB		Date		2/26/2015		Sheet No.		A5	
Revision Notes		Zone		Approvals		No.		Date		Issue Notes		Date		Issue Notes	

G.1.19.

**SUPPORTING STATEMENTS****FINDINGS REQUIRED TO GRANT A VARIANCE**

Brisbane Municipal Code Section 17.46.010

*Applications for variances from the strict application of the terms of this title may be made and variances granted when the following circumstances are found to apply:*

*A. That any variance granted shall be subject to such conditions as will assure that the adjustment hereby authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and district in which the subject property is located.*

*B. That because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.*

What special circumstances, such as size, shape or topography of the property, or its location or surroundings, apply to your site?

- Measured on the midline of this site the slope is 17%. In the past an owner or occupant of the house excavated for a parking space off Visitation Avenue, putting the spoil behind a retaining wall and creating a rise in level at the mid line of the property. (see extract from soil report and soil engineer's email). The prevalent angle of slope on our site and of the adjacent properties is a slope greater than 20%. (see drawing A12).

How do these special circumstances impact your site when the Zoning Ordinance is applied to the site?

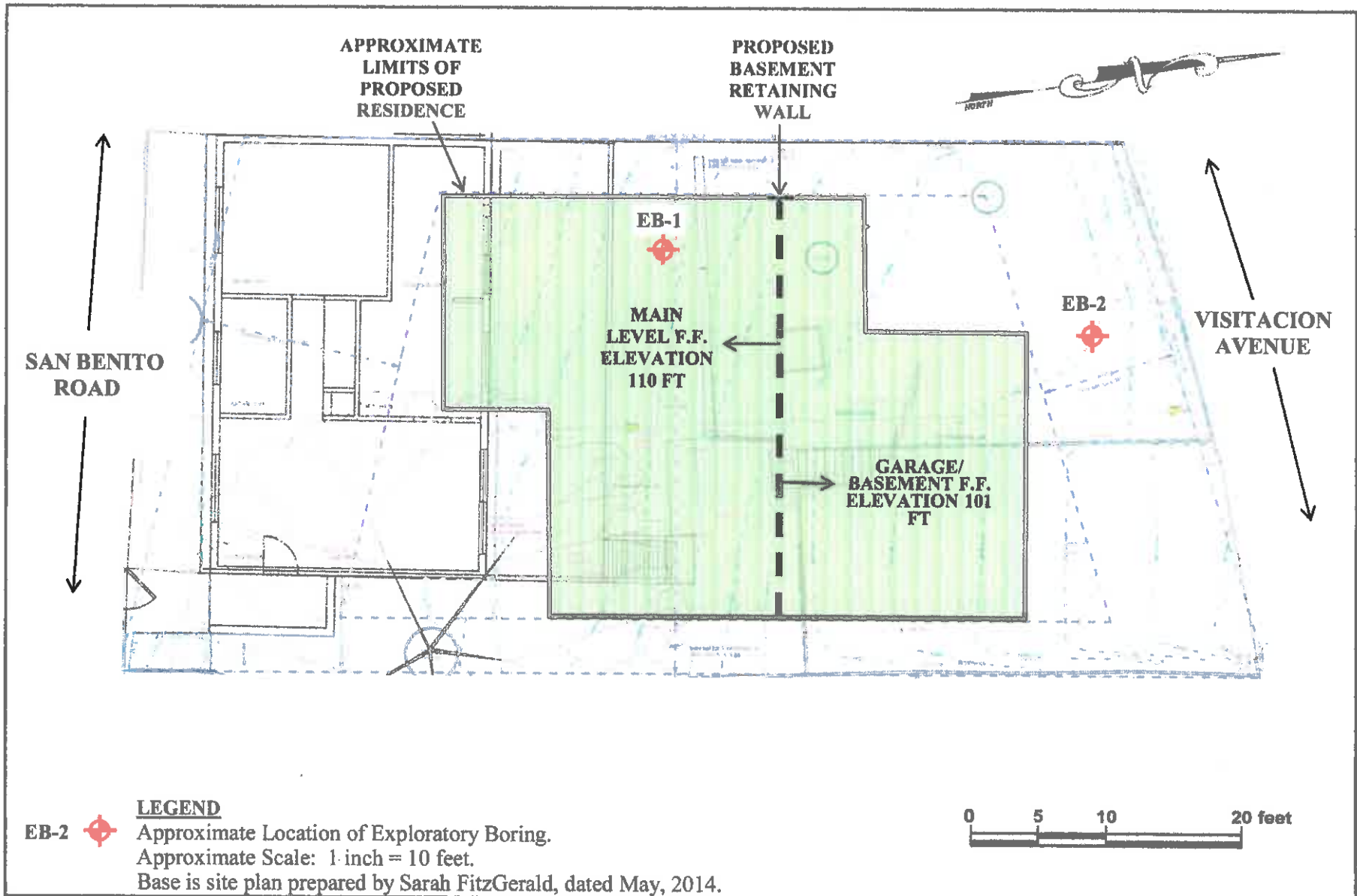
- When the Ordinance is applied to our site the height of our house is limited to 28 feet.

What privileges enjoyed by other properties in the vicinity and same zoning district would you be deprived of when the Zoning Ordinance is applied to your site, given its special circumstances?

- Other properties spanning between San Benito and Visitation would be allowed to be 30 feet in height because the slope at mid point would be greater than 20%, reflecting the general grades

What conditions of approval could be attached to the variance to assure that you comply with the intent of the Zoning Ordinance and other applicable regulations?

- We ask that the City grant a variance permitting the height of the house to be 30', as measured and defined in the Zoning Ordinance. In all other respects our design as submitted complies with the Ordinance.



**SITE PLAN**  
**BRAGG-FITZGERALD RESIDENCE**  
**BRISBANE, CALIFORNIA**





**FIGURE 2**  
**SEPTEMBER 2014**  
**PROJECT NO. 3251-1**

G.1.21

DRILL TYPE: Minuteman with 3-1/4" Continuous Flight Auger

LOGGED BY: CT

DEPTH TO GROUND WATER: Not Encountered. SURFACE ELEVATION: 103 feet DATE DRILLED: 08/15/2014

CLASSIFICATION AND DESCRIPTION	SOIL CONSISTENCY/ DENSITY or ROCK HARDNESS* (Figure A-2)	SOIL TYPE	SOIL SYMBOL	DEPTH (FEET)	SAMPLE INTERVAL	SPT RESISTANCE (Blows/ft)		WATER CONTENT (%)	SHEAR STRENGTH (TSF)*	UNCONFIN. COMP. (TSF)*
Fill: Brown, Sandy Lean Clay, slightly moist, fine to medium grained sand, fine angular to subrounded gravel.	Very Siff to Hard	CL		0			24	6		
						39	10			
Franciscan Complex: Light brown to tan, Sandstone slightly moist, very severely weathered, fine-grained, light orange mottling, manganese oxide staining.	Soft	BR		5			38	9		
						50/4"	6			
Bottom of Boring at 6.4 feet.				10						
					15					

Note: The stratification lines represent the approximate boundary between soil and rock types, the actual transition may be gradual.

\*Measured using Torvane and Pocket Penetrometer devices.

EXPLORATORY BORING LOG EB-2  
BRAGG-FITZGERALD RESIDENCE  
BRISBANE, CALIFORNIA

BORING EB-2  
SEPTEMBER 2014  
PROJECT NO. 3251-1

ROMIG ENGINEERS, INC.

G.1.22

**Subject:** RE: 119 San Benito Road, Brisbane - your 3251-1  
**From:** "Lucas Ottoboni" <lucas@romigengineers.com>  
**Date:** 4/2/2015 12:39 PM  
**To:** "Quincy Bragg" <qb@cpsteel.com>  
**CC:** "Sarah FitzGerald" <mville98@gmail.com>

Quincy,

Well-crafted email, it came across all very clear.

I think for the reason you described, a cut constructed for the lower parking area while also creating a raised/flat backyard surface upslope of (retaining wall also along the street downslope of boring 2), we determined that there was 4 feet of fill at the location of EB-1.

"Fill" is definitely subjective and it is possible that there was 3 feet of fill there with 1 foot of native or some other combination, but based on the cross slope topography, the lower cut, and upper flat section in the yard which appears to be manmade and supported by retaining wall (rather than meeting grade with the street similar to upslope neighbor) we think that the 4-foot number is probably pretty close.

Therefore; native ground is probably near the street level and slopes upwards towards the front of the lot. If you want to clarify further, maybe it would be best handled over the phone.

Lucas J. Ottoboni  
Senior Staff Engineer

Romig Engineers, Inc. | 1390 El Camino Real, Suite 200 | San Carlos, CA 94070  
T: 650-591-5224 | [lucas@romigengineers.com](mailto:lucas@romigengineers.com) | [www.romigengineers.com](http://www.romigengineers.com)

-----Original Message-----

**From:** Quincy Bragg [<mailto:qb@cpsteel.com>]  
**Sent:** Wednesday, April 01, 2015 12:26 PM  
**To:** Lucas  
**Cc:** Sarah FitzGerald  
**Subject:** 119 San Benito Road, Brisbane - your 3251-1

We have applied for a permit to construct this house and just Monday received a plan check correction list. Once we have resolved some issues with the City we will have to make minor plan changes and corrections. At that point we will need to have you review the plans for compliance with your report. We hope to be ready for that in 3 to 4 weeks.

For the moment however, there is a question that you may be able to assist us with. Refer to the site plan (figure 2) and the log for boring EB-2. The existing grades on the site plan indicate that there is an area east of the boring where at some time in the past a previous owner excavated a flat area sloping up from the street to allow for on-site car parking. Our assumption has been that when the work was done the excavated soil was placed in the area around boring EB-2.

There is a wooden retaining wall about 4 feet high between the two area. Our recollection is that your engineer who was present at the time the borings were done commented that there appeared to be a certain depth of fill at EB-2, however, boring log is not clear on this. The log calls all the top 4 feet "fill" which surprises me.

We would like to know if you can estimate the depth of fill above what might be the original pre-development ground level. The reason this is important is that it affects how the City calculated the slope of the lot and how tall our house can be.

If you can do this it would be greatly appreciated. We have a meeting with City staff Monday morning at which this will be one of the discussion items. Call or reply if you have any questions.

Thanks,  
Q

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Quincy Bragg  
Critical Path Steel Buildings  
650-952-1494  
fax 650-871-5864  
[qb@cpsteel.com](mailto:qb@cpsteel.com)  
[www.cpsteel.com](http://www.cpsteel.com)